

Exemption Certificate

Section 46 of the Planning Act 2016

File reference: EC25-03
Contact name: Mr Kevin Gore
Contact number: (07) 4671 7400
Date: 20 March 2025

Angus McKillop
PO Box 149
GOONDIWINDI QLD 4390

Dear Angus

I wish to advise that an Exemption Certificate is granted for a development comprising of a Domestic Storage Shed with an attached open sided Carport located built within the required side boundary setback on Lot 5 on RP53579, 50 Albert Street, Goondiwindi.

1. Description of the Development to which this Certificate relates

**Assessable Development under the Goondiwindi
Region Planning Scheme 2018 (Version 2), Part 5
Tables of Assessment**

Part 5 Reference

"Accommodation activities" – "Dwelling House"(Domestic Storage Shed with an attached open sided Carport built within the required side boundary setback)

Table 6.2.3.1 (PO3 of the General Residential Zone Code)

2. Reasons for Giving Exemption Certificate

The development is exempt under this Certificate under section 46(3)(b) of the *Planning Act 2016* for the following reasons:

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.
- The proposal is for a non-habitable Domestic Storage Shed with an attached open sided carport. The proposal is not in a new estate and the proposed shed will be a minimum of 20m to the closest dwelling by being located at the rear of the subject lot.

- It is considered that the proposed structure will maintain the coherent streetscape character of the General Residential Zone in Goondiwindi and will not detract from the amenity of the adjoining premises.

3. When Exemption Certificate Ceases to have Effect

This Exemption Certificate has effect for **two (2) years** from the date of issue.

4. State Periods that Must be Complied with

To the extent the development does not comply with any of the following, this Exemption Certificate has no effect:

- The use must commence by 20 March 2027.

Should you have a query or seek clarification about any of these details, please contact Council's Building Certifier, Mr Kevin Gore on (07) 4671 7400.

Yours faithfully



Jason Quinnell
Director, Community & Corporate Services
Goondiwindi Regional Council

enc Attachment 1— Hand Drawn Site Plan; Floor Plan and Elevation Plans by 'Titan Garages & Sheds' Job No. 131424



**Attachment 1 – Hand Drawn Site Plan; Floor Plan
and Elevation Plans by 'Titan
Garages & Sheds' Job No. 131424**

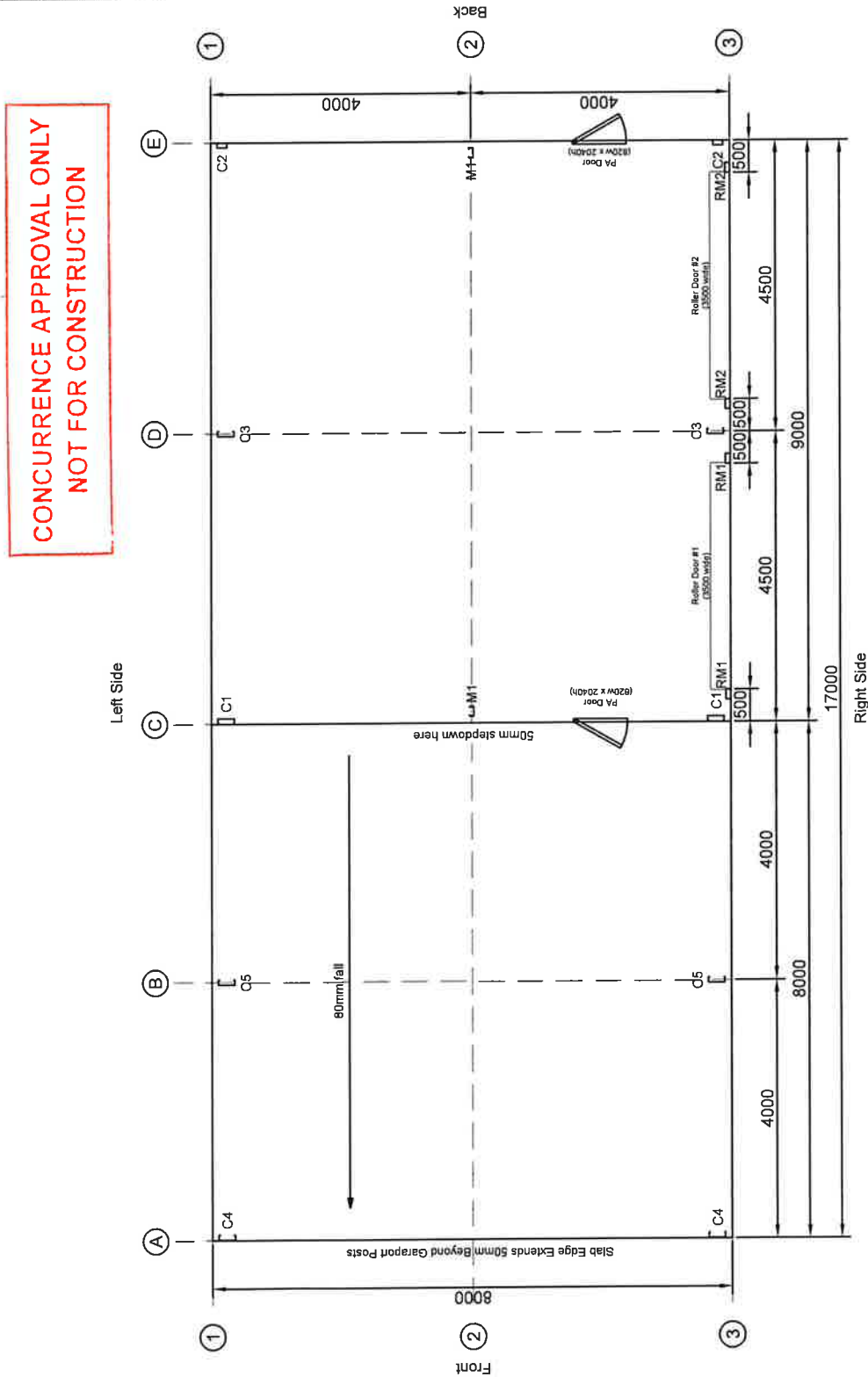




Request for Quote

Hand-drawn site plan for a property at 50 Albert Street, Coonah. The plan shows a large rectangular lot with a width of 100m and a depth of 7.550m. The lot is divided into several sections. On the left, there is a 'Garage' (3.5m x 4.1m) and a 'Workshop' (4.5m x 3.5m). To the right of these is a 'Carport' (4.1m x 3.5m). Further right is a 'Driveway' (3m x 3m). The central part of the lot is labeled 'Owner: Angus McKillop'. On the right side, there is an 'Existing House' (LS RP53579) with a 'Drive way' leading to it. The house is 2.7m wide and 3m deep. The lot is bounded by '50 Albert Street' on the left and 'Coonah' on the right. The plan also shows a '100m' dimension across the top and a '7.550' dimension across the bottom. A '100m' dimension is also shown on the right side. The plan is dated '15/11/15'.

2024



Note: Front Garaport Slab is stepped down 50mm from Main Building Slab

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Summerville Pty Ltd
Consulting Engineers

RURAL BUILDING SOLUTIONS/MCKILLOP
50 ALBERT STREET, GOONDIWINDI, QLD 4390, AUSTRALIA

RURAL B
50 ALBERT ST

RURAL BUILDING
50 ALBERT STREET, C

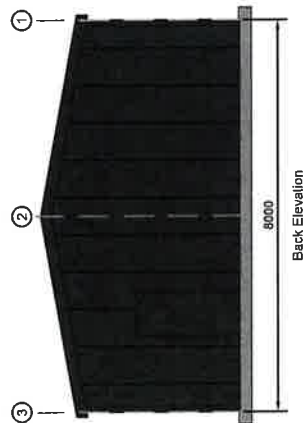
Date: 28/11/2024

Revision: 00

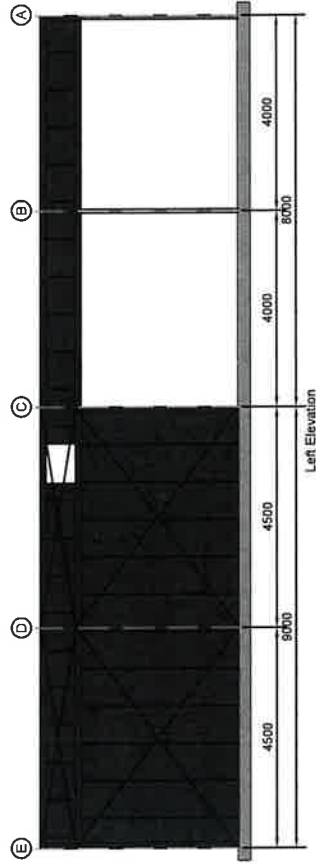
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CONCURRENCE APPROVAL ONLY
NOT FOR CONSTRUCTION



Back Elevation



Left Elevation

SUPPLIED BY: Titan Head Office 180 Magnusdun Dr, Crestmead QLD 4132 PH: (07) 3803 6077 Email: max.vicent@titaragarages.com.au		 		ENGINEERING CALCULATIONS BY: Summerville Pty Ltd Consulting Engineers A/CN 108 994 431 ABN 42 108 994 435 17/04/2021 Project: 07 3803 6077		CLIENT: RURAL BUILDING SOLUTIONS/MCKILLIP 50 ALBERT STREET, GOONDIWINDI, QLD 4390, AUSTRALIA		DATE: 28/11/2024 Revision: 00	
		DIST CODE: TH04 SCALE: 1:150		DRAWING TITLE: ELEVATIONS (ALL)		DRAWING NO: 06			
		SHEET: 6 OF 36		AS SHEET		JOB REFERENCE NO: 131424			