

Exemption Certificate

Section 46 of the Planning Act 2016

File reference: EC25-17
Contact name: Mr Kevin Gore
Contact number: (07) 4671 7400
Date: 26 August 2025

Thomas Carter
PO Box 632
GOONDIWINDI QLD 4390

Dear Mr Carter

I wish to advise that an Exemption Certificate is granted for a development comprising of Non-habitable Additions to Existing Dwelling House built within the mapped flood hazard area on Lot 19 on RP201239, 32 Three Oaks Lane, Goondiwindi.

1. Description of the Development to which this Certificate relates

**Assessable Development under the Goondiwindi
Region Planning Scheme 2018 (Version 2), Part 5
Tables of Assessment**

"Accommodation activities" (Dwelling House)

Part 5 Reference

Table 8.2.3.1 (PO1
and PO2 of the Flood
Hazard Overlay Code)

2. Reasons for Giving Exemption Certificate

The development is exempt under this Certificate under section 46(3)(b) of the *Planning Act 2016* for the following reasons:

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.
- Anecdotal evidence suggests previous minor flooding on the subject site. The floor level of the proposed additions will be in line with the existing dwelling floor level. It is considered that the design and built form will appropriately respond to the risk of flooding and will not increase the potential for flood damage either on-site or on other properties as per PO1 and PO2 of the Flood Hazard Overlay code.

- Given that the site is currently developed with an existing dwelling house, and the request is for non-habitable additions to the dwelling, it is considered that the development would not increase risks to personal safety.

3. When Exemption Certificate Ceases to have Effect

This Exemption Certificate has effect for **two (2) years** from the date of issue.

4. State Periods that Must be Complied with

To the extent the development does not comply with any of the following, this Exemption Certificate has no effect:

- The use must commence by 26 August 2027.

Should you have a query or seek clarification about any of these details, please contact Council's Building Certifier, Mr Kevin Gore, on (07) 4671 7400.

Yours faithfully

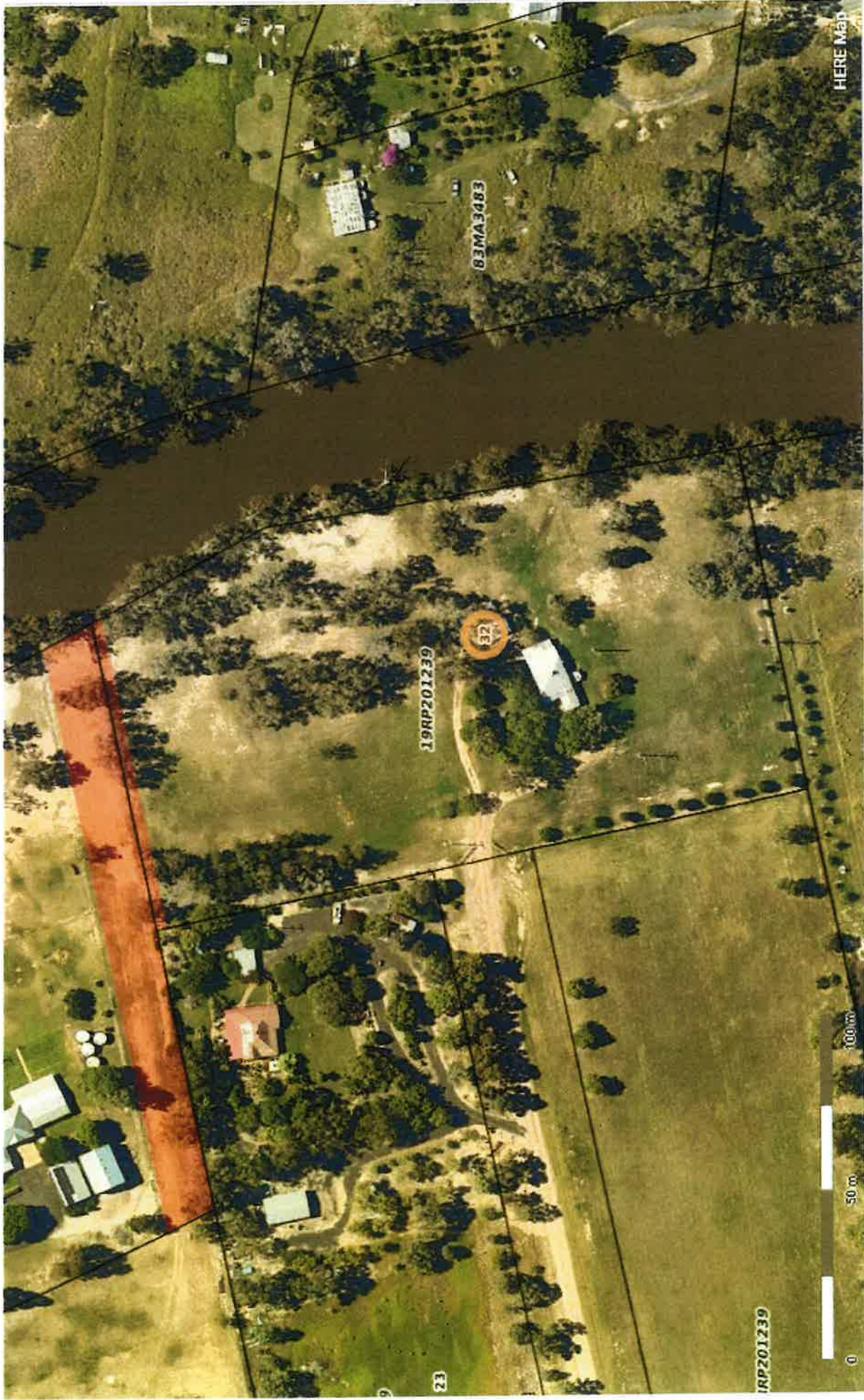


Jason Quinnell
Director
Goondiwindi Regional Council

Enc Attachment 1—Aerial Image Site Plan (32 Three Oaks Lane, GDI.); Site, Floor and Elevation Design Plans

**Attachment 1 – Aerial Image Site Plan (32 Three Oaks
Lane, Goondiwindi – Lot 19 on RP201239);
Site, Floor and Elevation Design Plans**





32 Three Oaks Lane, Goondiwindi

Goondiwindi Regional Council makes no representations and gives no warranties about this map's accuracy and does not accept any liability for any loss or damage that may arise from the use of or reliance on this data.

CONCURRENCE APPROVAL ONLY
NOT FOR CONSTRUCTION



1 : 1,475 at A4
26-Aug-2025

[View map online](#)

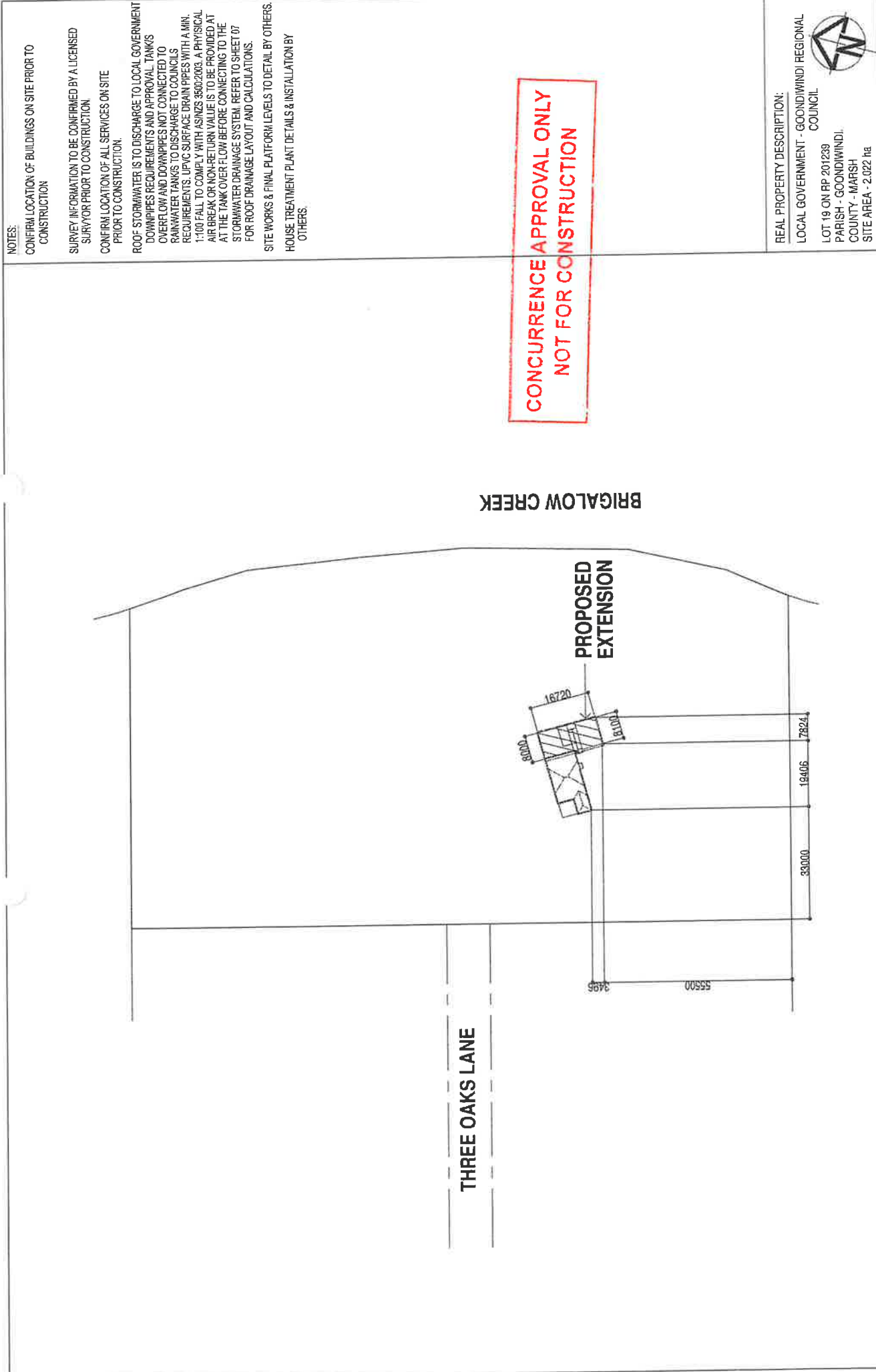
NOTES:
CONFIRM LOCATION OF BUILDINGS ON SITE PRIOR TO CONSTRUCTION
SURVEY INFORMATION TO BE CONFIRMED BY A LICENSED SURVEYOR PRIOR TO CONSTRUCTION
CONFIRM LOCATION OF ALL SERVICES ON SITE PRIOR TO CONSTRUCTION
ROOF STORMWATER IS TO DISCHARGE TO LOCAL GOVERNMENT DOWNPIPES REQUIREMENTS AND APPROVAL. TANKS OVERFLOW AND DOWNPIPES NOT CONNECTED TO RAINWATER TANKS TO DISCHARGE TO COUNCILS REQUIREMENTS. UPVC SURFACE DRAIN PIPES WITH A MIN. 1:100 FALL TO COMPLY WITH AS/NZS 3500:2003. A PHYSICAL AIR BREAK OR NON-RETURN VALVE IS TO BE PROVIDED AT THE TANK OVER FLOW BEFORE CONNECTING TO THE STORMWATER DRAINAGE SYSTEM. REFER TO SHEET 07 FOR ROOF DRAINAGE LAYOUT AND CALCULATIONS.
SITE WORKS & FINAL PLATFORM LEVELS TO DETAIL BY OTHERS.
HOUSE TREATMENT PLANT DETAILS & INSTALLATION BY OTHERS.

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REAL PROPERTY DESCRIPTION:
LOCAL GOVERNMENT - GOONDIWINDI REGIONAL COUNCIL
LOT 19 ON RP 201239
PARISH - GOONDIWINDI
COUNTY - MARSH
SITE AREA - 2.022 ha



SIGNATURES -
OWNERS:
BUILDER:



PROJECT -		RODNEY & TANIA WATT	
NEW EXTENSION		32 THREE OAKS LANE	
Autodesk Cadsoft Building		GOONDIWINDI	
SITE PLAN		A. BERRY TC2.5 - T1 - NS N3	
Scale: 1 : 1000		R. J.S.	
2		COPYRIGHT 2020 R.J. STEER	
2		B.S.A. Lic. No. 5282	
2		AS/NZS 1546	
2		SHEET 1 OF 9	

 DENOTES LOCATION OF HOT WATER SYSTEM.
 CONFIRM LOCATION ON SITE.

 DENOTES LOCATION OF HOT WATER SYSTEM.
 CONFIRM LOCATION ON SITE.

8 DENOTES LOCATION OF CEILING FANS,
MINIMUM BLADE DIA 900mm WITH SPEED
CONTROLLER IN ACCORDANCE WITH
CLAUSE 3.9.5 OF THE BCA.

○ DENOTES LOCATION OF EXTERNAL
ROOF DOWNPIPES. CONFIRM LOCATION
ON SITE. REFER TO SHEET 7 FOR ROOF
DRAINAGE CALCULATIONS.

ALL NEW PLUMBING FIXTURES & INSTALLATION
INCLUDING PRESSURE LIMITING DEVICES, HOT
WATER SYSTEMS & DUAL FLUSH TOILETS TO BE
WELLS RATED IN ACCORDANCE TO AS/NZ 6400 -
2005 & AS 3500

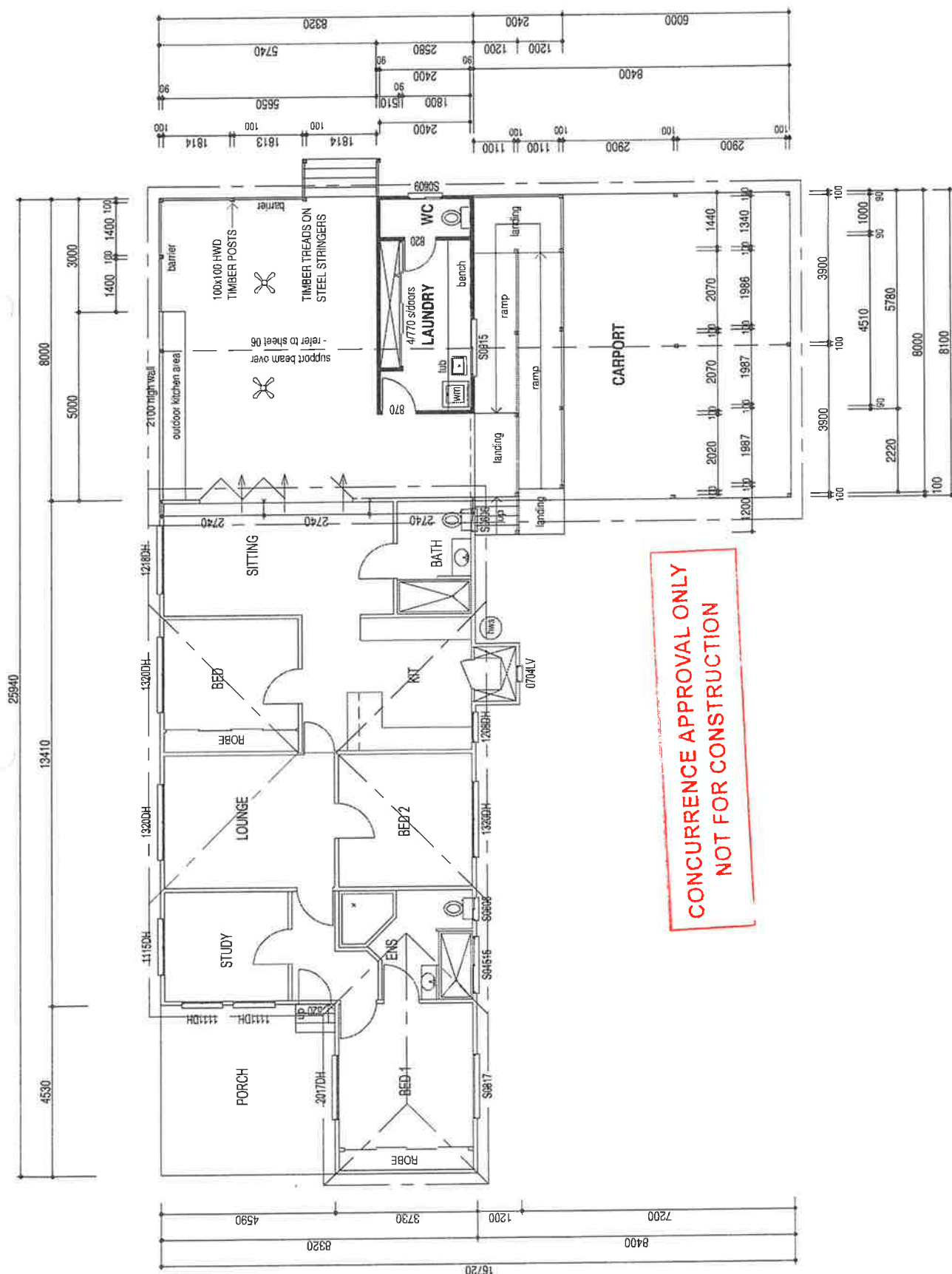
ALL NEW WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH CLAUSE 3.8.1. OF THE BCA

ALL NEW GLAZING TO BE INSTALLED IN ACCORDANCE WITH CLAUSE 3.6 OF BCA

CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.

ALL DIMENSIONS ON PLANS ARE FRAME TO FRAME DIMENSIONS.

ALL DOOR HEIGHTS TO BE - 2040 INTERNALLY
- 2135 EXTERNALLY



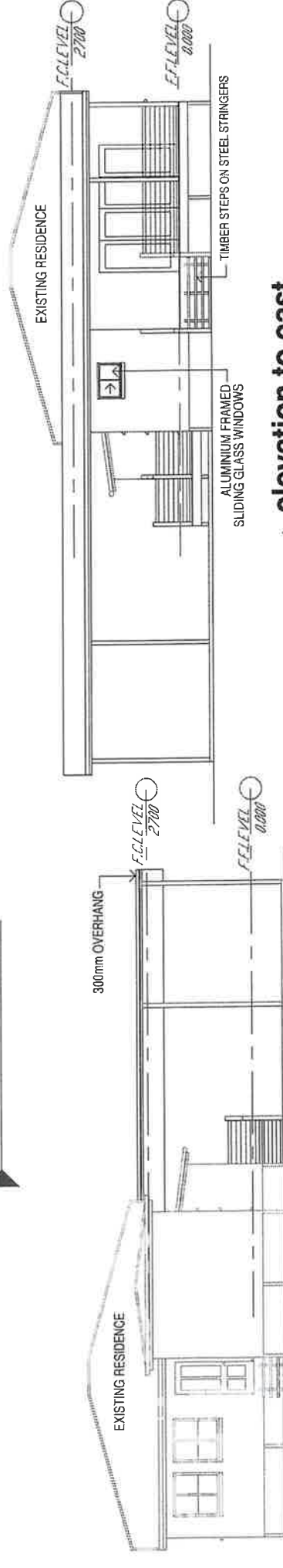
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living area	130.44 sqm
laundry area	14.91 sqm
outdoor area	51.65 sqm
porch area	20.79 sqm
total	217.79 sqm

[illegible]



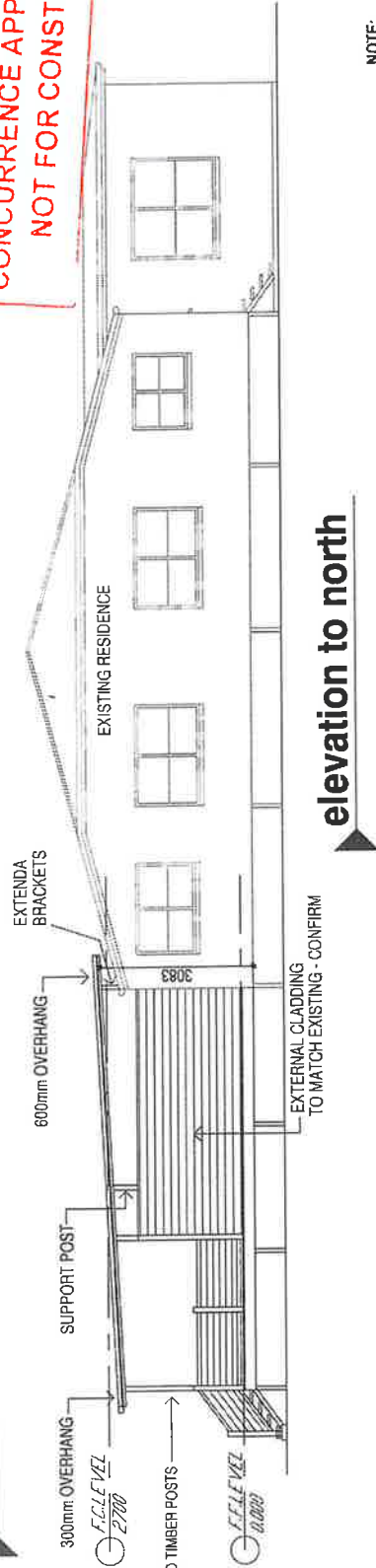
elevation to south



elevation to west

elevation to east

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elevation to north

NOTE:
F.F. DENOTES FINISHED FLOOR LEVEL
F.C. DENOTES FINISHED CEILING LEVEL

PROJECT -		NEW EXTENSION		SIGNATURES -	
Autodesk Cadsoft Building		32 THREE OAKS LANE		OWNERS:	
ELEVATIONS		GOONDWINDI		BUILDER:	
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